

# Citizens Academy of Planning

## Session 3 – Unified Development Code

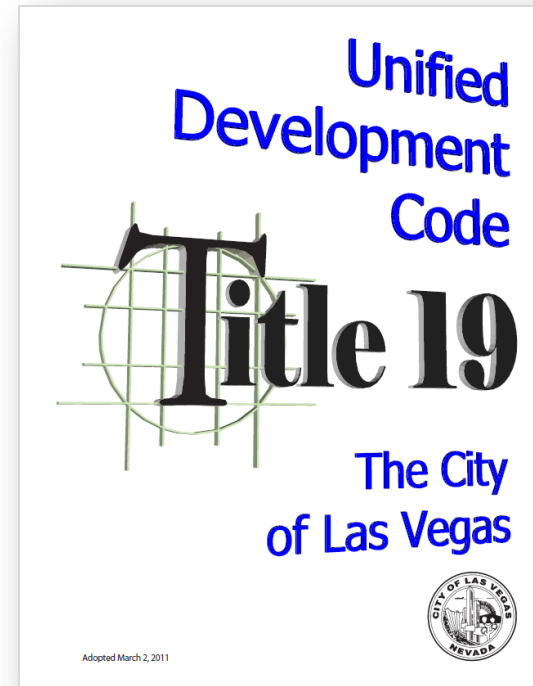


Steve Gebeke AICP, Planning Supervisor  
Robert Summerfield AICP, Planner II

# Unified Development Code

## Session Overview

- Unified Development Code (UDC) Introduction
- Zoning Districts
- Complete Streets
- Setbacks
- Heights
- Signage
- Parking
- Permitted Uses Table
- Questions



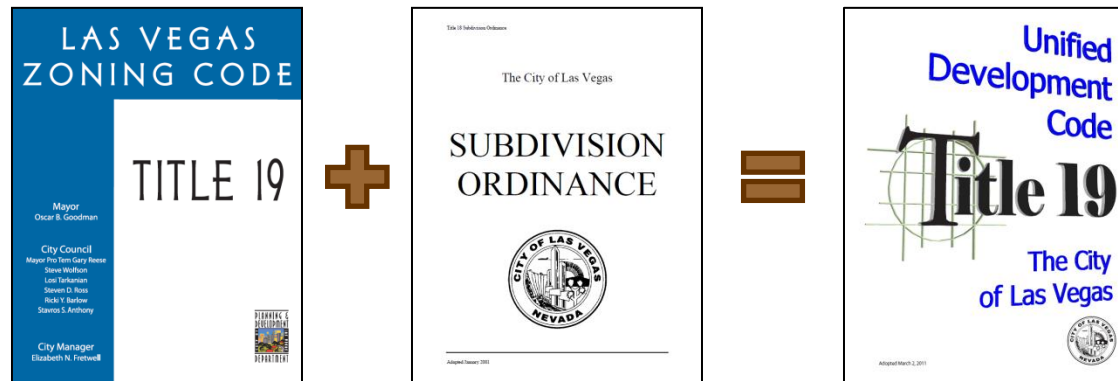
# Unified Development Code

## UDC Introduction



What is the Unified Development Code (UDC)?

- It is Zoning and Subdivision Regulations in one consolidated document



# Unified Development Code

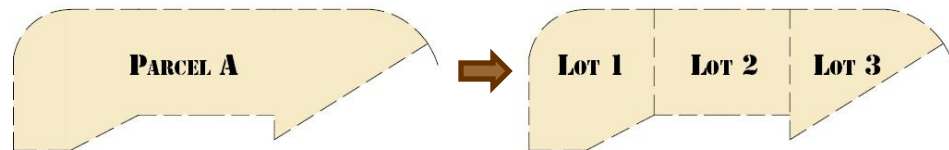
## UDC Introduction



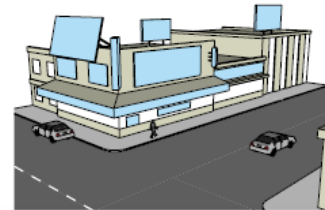
What does the UDC govern?

➤ It governs how land is:

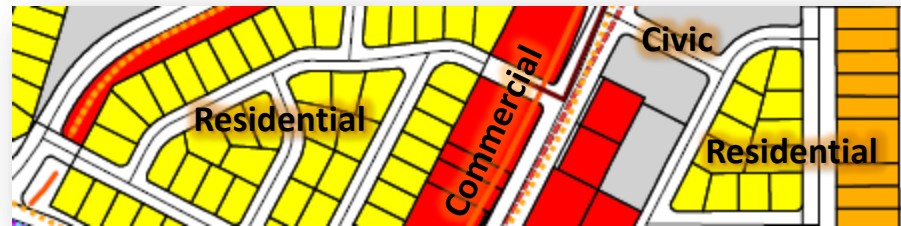
✓ Divided -



✓ Developed -

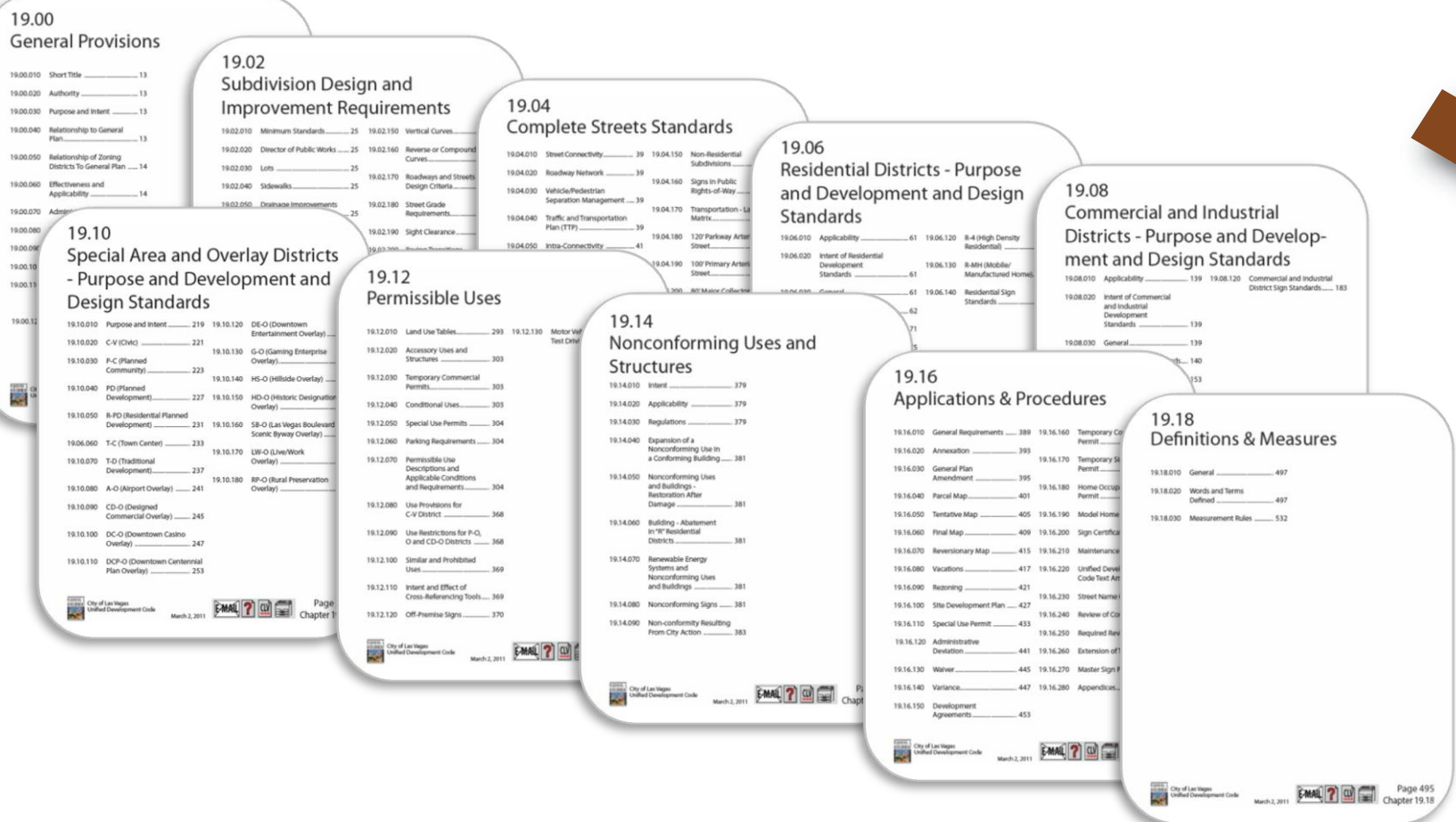


✓ Used -



# Unified Development Code

## UDC Introduction – Chapter Org.





# Unified Development Code

## Zoning Districts - Residential

Designation	Zoning District Name & Purpose
<b>U</b>	<b>Undeveloped</b> - a temporary classification to be used until property is ready for development for a more intense, permanent use. This classification is intended to be used as a holding zone to prevent the premature, haphazard development of property.
<b>R-E</b>	<b>Residential Estates</b> - provides for low density residential units located on large lots and conveying a rural environment. This District is consistent with the policies of the Desert Rural Density Residential category of the General Plan.
<b>R-1</b>	<b>Single Family Residential</b> - provides for the development of single-family detached dwellings in a suburban setting. This District is consistent with the policies of the Low Density Residential category of the General Plan.



# Unified Development Code

## Zoning Districts – Residential (cont'd)

Designation	Zoning District Name & Purpose
<b>R-CL</b>	<b>Single Family Compact-Lot</b> - provides for single-family units and other customary residential uses on a smaller lot size. The density associated with this District is consistent with the policies of the Medium-Low Density Residential category of the General Plan.
<b>R-TH</b>	<b>Single Family Attached</b> - accommodates single-family attached residences with designs and densities that transition between multi-family and single-family uses. This District is consistent with the policies of the Medium Density Residential category of the General Plan.
<b>R-2</b>	<b>Medium-Low Density Residential</b> - establishes lots primarily for medium to low density single-family detached units and duplex units. This District is consistent with the policies of the Medium-Low Density and Medium-Low Attached Residential categories of the General Plan.



# Unified Development Code

## Zoning Districts – Residential (cont'd)

Designation	Zoning District Name & Purpose
<b>R-3</b>	<b>Medium Density Residential</b> - provides for the development of a variety of multi-family units such as duplexes, townhouses and medium density apartments. This District is consistent with the policies of the Medium Density Residential and High Density Residential categories of the General Plan.
<b>R-4</b>	<b>High Density Residential</b> - allows for the development of high density multi-family units within the downtown urban core and in other high intensity areas suitable for high density residential development. This District is consistent with the policies of the High Density Residential category of the General Plan.
<b>R-MH</b>	<b>Mobile/Manufactured Home Residential</b> - establishes subdivision lots primarily for mobile or manufactured homes. This District is consistent with the policies of the Low Density Residential category of the General Plan.

# Unified Development Code

## Zoning Districts – Commercial

Designation	Zoning District Name & Purpose
<b>P-O</b>	<b>Professional Office</b> - allows for office uses in an area which is predominantly residential but because of traffic and other factors is no longer suitable for the continuation of low density residential uses. This district is designed to be a transitional zone to allow low intensity administrative and professional offices. These uses are characterized by a low volume of direct daily client and customer contact. To decrease the impact to adjacent residential uses, single family structures should be retained or new development in this District should be constructed to maintain a residential character and is consistent with the Office category of the General Plan.
<b>O</b>	<b>Office</b> - provides for the development of office uses, supporting service uses and low intensity commercial uses performing administrative, professional and personal services. These may be small office buildings developed in a cluster with an internal traffic circulation system or one larger office building. This district may be used as a buffer between residential and more intense retail/commercial uses. The O District is consistent with the Office category of the General Plan.

# Unified Development Code

## Zoning Districts – Commercial (cont'd)

Designation	Zoning District Name & Purpose
<b>C-1</b>	<b>Limited Commercial</b> - provides most retail shopping and personal services, and may be appropriate for mixed use developments. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. This District is consistent with the Service Commercial and the Neighborhood Center categories of the General Plan.
<b>C-2</b>	<b>General Commercial</b> - provides the broadest scope of compatible services for both the general and traveling public. This category allows retail, service, automotive, wholesale, office and other general business uses of an intense character, as well as mixed-use developments. This district should be located away from low and medium density residential development and may be used as a buffer between retail and industrial uses. This District is also appropriate along commercial corridors and is consistent with the General Commercial category of the General Plan.

# Unified Development Code

## Zoning Districts – Industrial

Designation	Zoning District Name & Purpose
<b>C-M</b>	<b>Commercial/Industrial</b> - a general commercial and restricted industrial district which provides for a variety of compatible business, warehouse, wholesale, office and limited industrial uses. This District is intended to be located away from areas of low and medium density residential development and is consistent with the Light Industry/Research category of the General Plan.
<b>M</b>	<b>Industrial</b> - provides for heavy manufacturing industries in locations where they will be compatible with and not adversely impact adjacent land uses. This district is intended to be located away from all residential development. The M District is consistent with the Light Industry/Research category of the General Plan.

# Unified Development Code

## Zoning Districts

How does zoning impact use of property?

- A property's zoning determines the intensity to which the property can be developed. For example:

R-E	R-1	R-4
<ul style="list-style-type: none"> <li>• Single Family Home (≈2 DUA)</li> <li>• Commercial Horse Stable</li> <li>• Keeping of Racing Pigeons</li> <li>• Animal Hospital or Shelter</li> </ul>	<ul style="list-style-type: none"> <li>• Single Family Home (≈6.5 DUA)</li> <li>• Keeping of Racing Pigeons</li> <li>• Child Care – Group Home (12 kids max)</li> </ul>	<ul style="list-style-type: none"> <li>• Multi-Family Bldg. (&gt;50 DUA)</li> <li>• Assisted Living Apartments</li> <li>• Residence Hotel</li> <li>• Child Care Center</li> </ul>

DUA = Dwelling Units per Acre which typically demotes density

# Unified Development Code

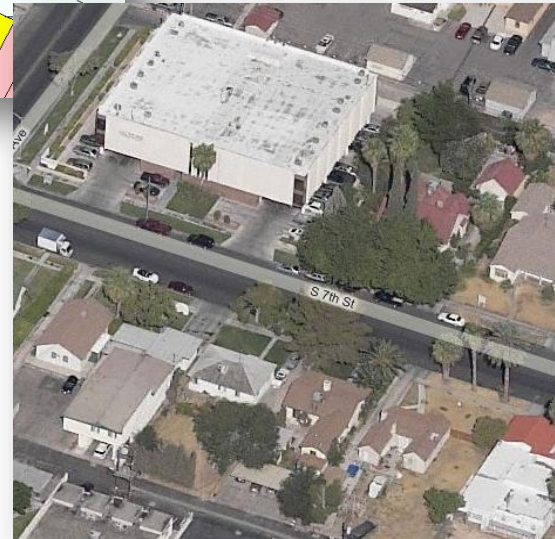
## Zoning Districts

How is land use impacted when zoning changes?

- Generally, a change of zoning is to a more intense district and therefore allows for higher intensity uses.



However, this can result in Nonconforming Uses or Structures and/or compatibility concerns with neighbors.



# Unified Development Code

## Permitted Uses – Use Table

What is possible where?

- The Permitted Use Table identifies what uses are permitted in each district.

	U	RE	R-1	R-CL	R-TH	R-2	R-3	R-4	R-MH	P-O	O	C-1	C-2	C-M	M	C-V	Additional Information
Accessory Structure (Class I)	S	S	S														page 305
Accessory Structure (Class II)	C	C	C	C	C	C	C	C	C								page 305
Adult Day Care Center	S	S	S			S	S	S	S	C	C	P	P	P	P		page 305
Airport, Heliport or Landing Field														P	P		page 305
Amphitheater												S	C	C	C		page 306
Ancillary Lounge Bar												S	S	S	S		page 306
Animal Hospital, Clinic, or Shelter (with no Outside Pens)											S	S	P	P	P		page 307
Animal Hospital, Clinic, or Shelter (with Outside Pens)	S	S										S	P	P	P		page 307
Animal Keeping & Husbandry	C	C															page 307
Animal Keeping, Wild or Exotic	C	C													C		page 307
Animal Production	P	P															page 307
Antique/Collectible Store												P	P	P	P		page 308
Asphalt or Concrete Batch Plant															P		page 308
Assisted Living Apartments						S	P	P				S	S				page 308



# Unified Development Code

## Permitted Use – Impact of Zoning

How does zoning impact permissible uses?

- Zoning determines whether a use is permitted on the subject property and whether or not any conditions or discretionary approvals are required to mitigate the impacts of the use. For example:

	U	RE	R-1	R-CL	R-TH	R-2	R-3	R-4	R-MH	P-O	O	C-1	C-2	C-M	M	C-V
Child Care Center	S	S					S	S	S	C	C	P	P	P	P	

From the table above, we see that a Child Care Center is identified as permissible in all but 5 districts. So, if the subject property is R-E the use would be allowed with the approval of a Special Use Permit (signified by the “S” in the table), but if the subject property is R-1 the use wouldn’t be allowed at all since the space is blank.

# Unified Development Code



## Permitted Use – Classifications

What is the difference between a Permissible, Conditional and Special use?

- Permitted Use (denoted by a “P”): the use is permitted as a principal use in that zoning district by right
- Conditional Use (denoted by a “C”): the use is permitted, but only in accordance with the conditions specified for the use in that zoning district
- Special Use (denoted by a “S”): the use is permitted only after obtaining a Special Use Permit (SUP). Base standards, which may or may not be waivable, may apply as well as any other conditions deem appropriate by the approving authority in that zoning district

# Unified Development Code

## Permitted Use – Uses & Parking

How are a property's use and parking related?

- A property's use determines the parking ratio that applies to the site. Ratios are based on studies related to the parking demand relative to the size and nature of the use, for example:

### Drive-thru Restaurant

1 space for each 100 SF of GFA, including outdoor areas for seating and waiting



### Restaurant

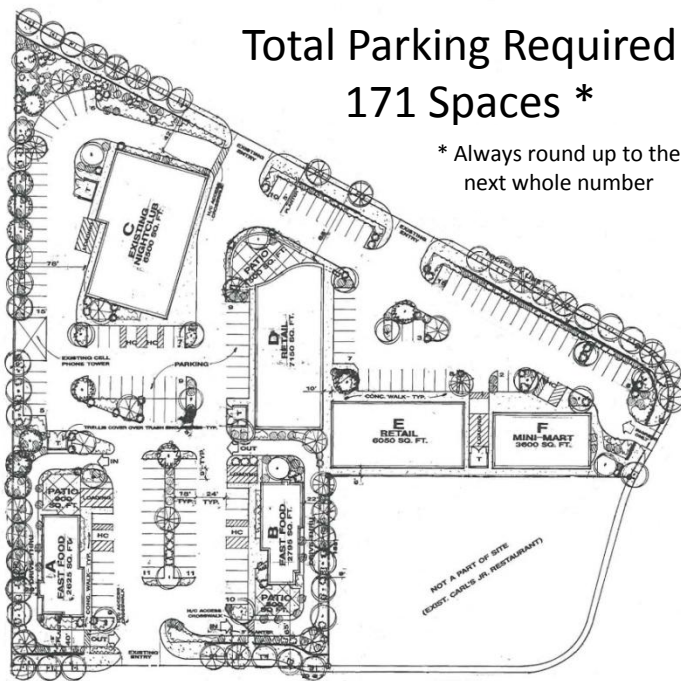
1 space for each 50 SF of seating and waiting area (including outdoor areas for seating and waiting), plus 1 space for each 200 SF of the remaining GFA, with a min. of 10 spaces required

# Unified Development Code

## Permitted Use – Uses & Parking (cont'd)

Then how is parking calculated in relation to the use?

- By using the parking requirement for each use and filling in the variables. For example:



Total Parking Required:  
171 Spaces \*

\* Always round up to the next whole number

	Building, Use and Square-footage	Parking Standard	# of Spaces Required
A	Drive-thru Restaurant (2625 SF)	1 space for each 100 SF of GFA	$2625/100 = 26.25$ spaces
B	Drive-thru Restaurant (2795 SF)	1 space for each 100 SF of GFA	$2795/100 = 27.95$ spaces
C	Night Club (2625 SF and 60 max cap)	1 space for every 3 persons at max. capacity	$60/3 = 20$ spaces
D	General Retail (7150 SF)	1 space per 175 SF of GFA	$7150/175 = 40.86$ spaces
E	General Retail (6050 SF)	1 space per 175 SF of GFA	$6050/175 = 34.57$ spaces
F	Convenience Store (3600 SF)	1 space per 175 SF of GFA	$3600/175 = 20.75$ spaces

# Unified Development Code

## Setbacks



### Where is setback information found?

- Setback information is listed for each district in the “Building Placement” table.
- Setback information related to accessory structures are included in the “Accessory Structures” table.

**19.06.070**  
**R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT**

The purpose of the R-1 District is to provide for the development of single-family detached dwellings in a suburban setting. The R-1 District is consistent with the policies of the Low Density Residential category of the General Plan.

**BUILDING PLACEMENT** (see Figure 1) **TABLE 1**

A. Minimum Lot Size	6,500 square feet
B. Minimum Lot Width	65 feet <sup>1</sup>
C. Max. Lot Coverage	50%
D. Minimum Front Yard Setback	20 feet
E. Minimum Side Yard Setback	5 feet
F. Minimum Corner Side Yard Setback	15 feet
G. Minimum Rear Yard Setback	15 feet

**Footnotes:**

1. Notwithstanding the minimum lot width in this Table, lots located along the circular portion of a cul-de-sac or a knuckle portion of a street may be reduced to a minimum of 30 feet in width at the front property line, provided the coverage for width meets the required lot width.

**ACCESSORY STRUCTURES** (see Figure 2) **TABLE 2**

A. Separation from Main Bldg.	6 feet
B. Minimum Corner Side Yard Setback	15 feet
C. Minimum Rear Yard Setback	3 feet
D. Minimum Side Yard Setback	3 feet
E. Size and Coverage	Not to exceed 50% of the floor area of the principal dwelling unit. <sup>1,2</sup>

**Footnotes:**

1. The aggregate total of the ground floor areas of all accessory buildings shall not cover more than 50 percent of the rear yard area.

2. The aggregate total of the ground floor areas of all structures and dwellings, including accessory structures, shall not exceed the percentage of lot coverage permitted.

**Illustrations & Graphics** **R-1**  
**19.06.070**

**FIGURE 1 - BUILDING PLACEMENT**

**FIGURE 2 - ACCESSORY STRUCTURES**

**City of Las Vegas**  
**Unified Development Code**  
March 2, 2011

**Page 79**  
**Chapter 19.06**

**E-MAIL ? CLV**

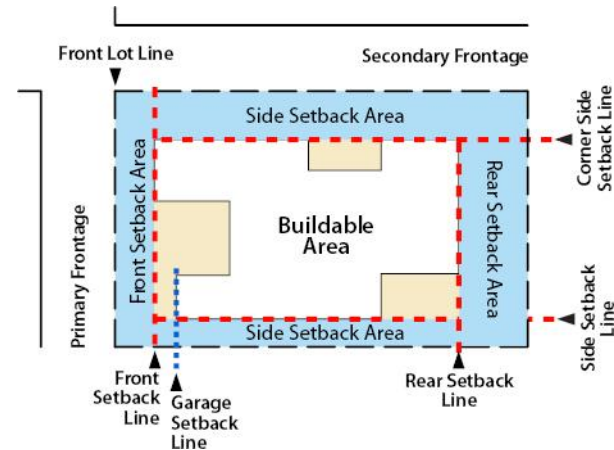
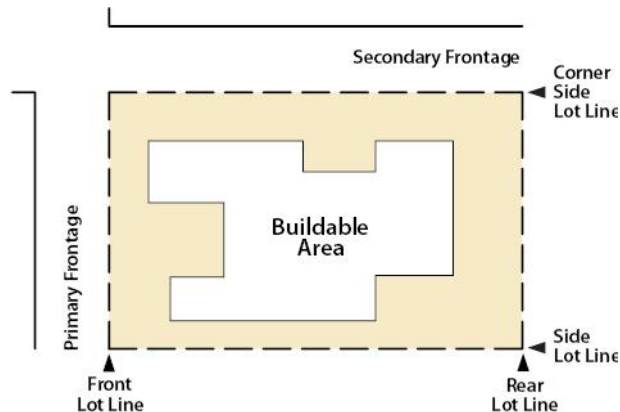


# Unified Development Code

## Setbacks

How are setbacks determined?

- Setbacks are measure by drawing a line parallel to the corresponding lot line at a distance equal to the setback standard for the district. The area between the lot line and the setback line is the setback area.



# Unified Development Code



## Setbacks

What elements or features are permissible within the setback areas?

- Certain elements or features may intrude into setback areas to various degrees, such as:
  - Architectural Features (Bay windows, fireplaces, roof eaves)
  - Architectural Embellishments (institutional symbols for churches and public buildings)
  - Mechanical Equipment (air-conditioning units, pool filters and heaters, etc.)
  - Patio Covers



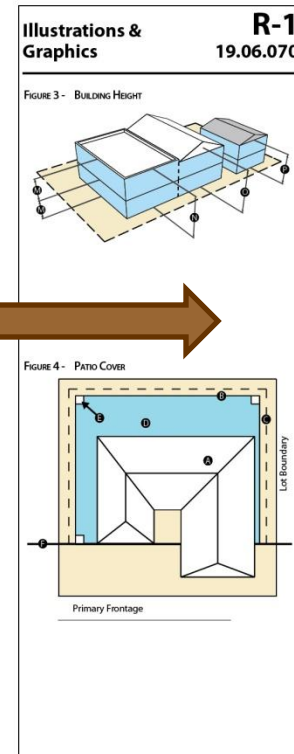
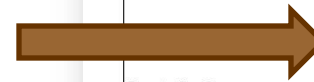
# Unified Development Code

## Heights



Where are building height standards found?

- Building height (both principle and accessory) information is listed for each district in the “Building Height” table.



BUILDING HEIGHT (see Figure 3)	
M. Stories	2 max
N. Flat Roof - Max. Height	35 feet measured to the top of the roof coping
O. Pitched Roof - Max. Height	35 feet measured to the midpoint between the eaves and ridge line of a pitched roof
P. Accessory Bldg. - Stories	Not to exceed 2 stories, 35 feet in height or the height of the principal dwelling unit, whichever is less

PATIO COVER (see Figure 4)	
A. Principal Dwelling Unit	
B. Patio Cover Setback to Post	5 feet - Rear 5 feet - Side 15 feet - Corner Side
C. Patio Cover Overhang	May come to within 3 feet of Rear and Side Property Lines
D. Patio Cover	Buildable Envelope
E. Patio Cover Support Columns	Must be located within the required Setbacks
F. Front Yard Setback	Patio Cover may not extend into

LANDSCAPE BUFFERS AND TURF LIMITATIONS (see Figure 5)	
A. Landscape Buffer - Minimum Zone Depths	6 feet - Adjacent to Right-of-Way <sup>1</sup> 0 feet - Interior Lot Lines
B. Primary Dwelling	
C. Impermeable Surfaces	Should be minimized to reduce stormwater quality management impacts

Page 80  
Chapter 19.06



March 2, 2011

City of Las Vegas  
Unified Development Code



# Unified Development Code

## Heights

Where are wall height standards found?

- Wall height information is included in the “Fences and Walls” tables.

### Illustrations & Graphics R-CL 19.06.080

FIGURE 7 - FRONT YARD WALL/FENCE WITH STANDARD STEPBACK

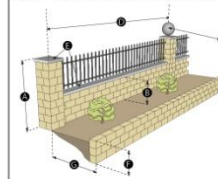
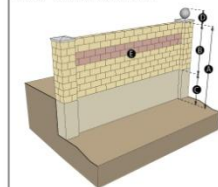


FIGURE 8 - RETAINING AND PERIMETER WALL



#### FENCES AND WALLS

##### Front Yard Wall/Fence (see Figure 7)

A. Maximum primary wall height	5 feet
B. Maximum solid wall base height	2 feet
C. Maximum Pilaster height	18 inches
D. Maximum on-center distance between Pilasters	24 feet
E. Decorative Cap feature	5 inches

##### Front Yard Wall/Fence with Standard Stepback<sup>1</sup>

F. Maximum secondary wall height	2 feet
G. Minimum spacing between wall sections - Outside Dimensions	5 feet

<sup>1</sup> Retaining walls along the front property line may not exceed two feet in height. Where the grade of the front yard slope is a slope greater than 2:1, multiple retaining walls may be constructed, provided there is a minimum distance of five feet between retaining walls for landscaping. (See Figure 7).

#### Perimeter and Retaining Walls (see Figure 8)

##### Perimeter and Retaining Walls with Slope ≤ 2%

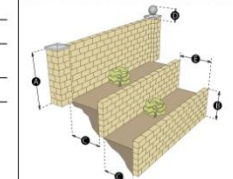
A. Maximum Overall Height	10 feet
B. Maximum Perimeter Wall Height	6 - 8 feet
C. Maximum Retaining Wall Height	4 feet
D. Maximum Pilaster Height	18 inches
E. Contrasting Material	20%

##### Perimeter and Retaining Walls with Slope > 2%

A. Maximum Overall Height	12 feet
B. Maximum Perimeter Wall Height	6 - 8 feet
C. Maximum Retaining Wall Height	6 feet

### Illustrations & Graphics R-CL 19.06.080

FIGURE 9 - RETAINING AND PERIMETER WALL STANDARD STEPBACK



#### FENCES AND WALLS

##### Perimeter and Retaining Walls (see Figure 9)

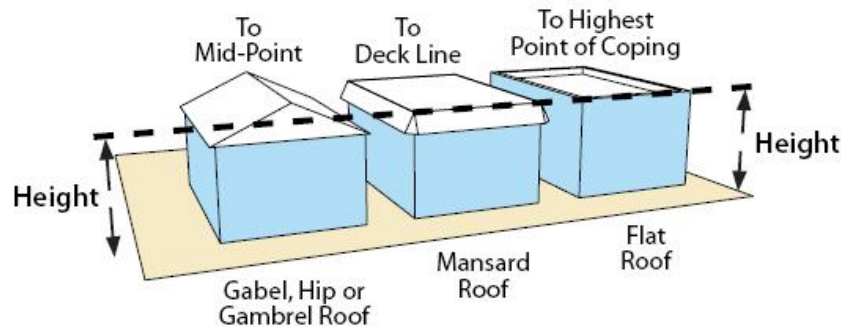
A. Maximum Primary wall Height	6 - 8 feet
B. Maximum Secondary wall Height	4 feet
C. Minimum spacing between wall sections - Inside Dimensions	4 feet
D. Maximum Pilaster Height	18 inches
E. Minimum spacing between wall sections - Outside Dimensions	5 feet

# Unified Development Code

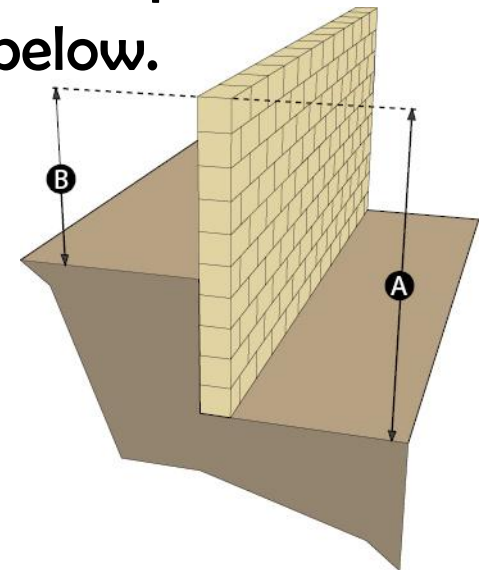
## Heights

How is height measured?

- Building height is measured from the finished grade to the midpoint of a peaked roof, deck line of a mansard roof, or highest point of the coping for a flat roof.



- Wall height is measured from side with the greatest vertical exposure, "A" below.

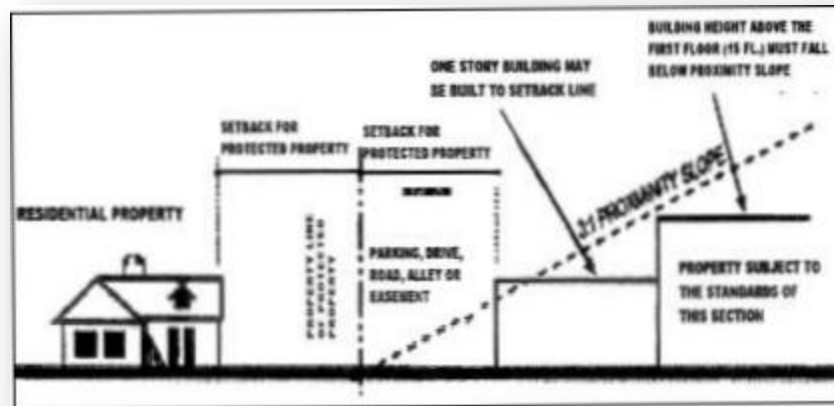


# Unified Development Code

## Heights

How is height affected by the Residential Adjacency standards?

- A property subject to this standard has to meet the Proximity Slope which limits heights above a line drawn at a 3:1 slope from the property line of a protected residential property.

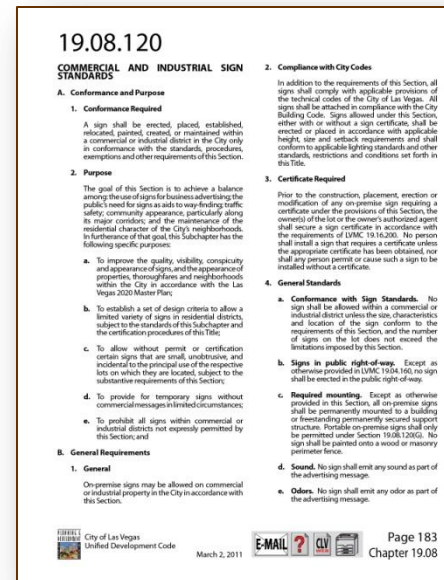
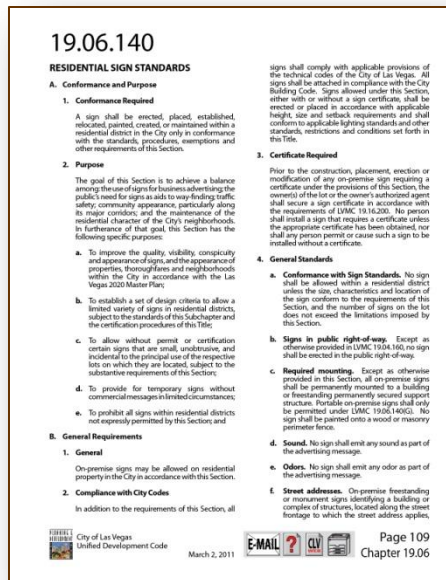


# Unified Development Code

## Signs

### Where is signage information found?

- Signage information is found at the end of the development standards chapters for the Residential Districts and the Commercial and Industrial Districts.



# Unified Development Code



## Signs

What are permitted and non-permitted materials?

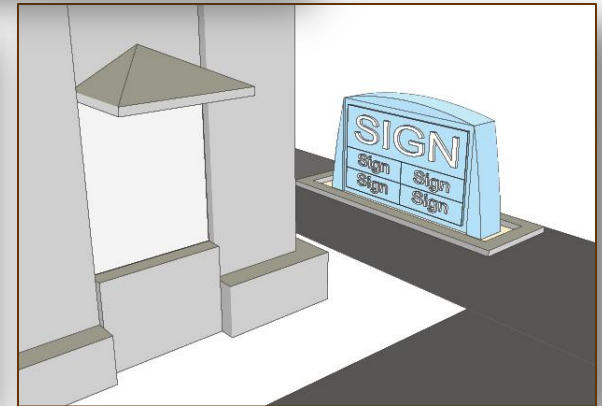
- All signs, other than temporary signs have to be constructed of durable materials.
- All signs must be permanently attached to the ground, a building or other structure by direct attachment to a rigid wall, frame or structure.
- No sign may be painted onto a wood or masonry perimeter fence.



# Unified Development Code

## Signs

What are examples of permitted signs in commercial areas?





# Unified Development Code

## Signs

What types of signage requires a permit?

- Most signage requires a permit.
- However, signage such as decorations, traffic control signs on private property, official flags, garage/yard sale signs, incidental signs, open house signs and some political signs.
- All signage whether a permit or certificate is required or not must meet all applicable standards.

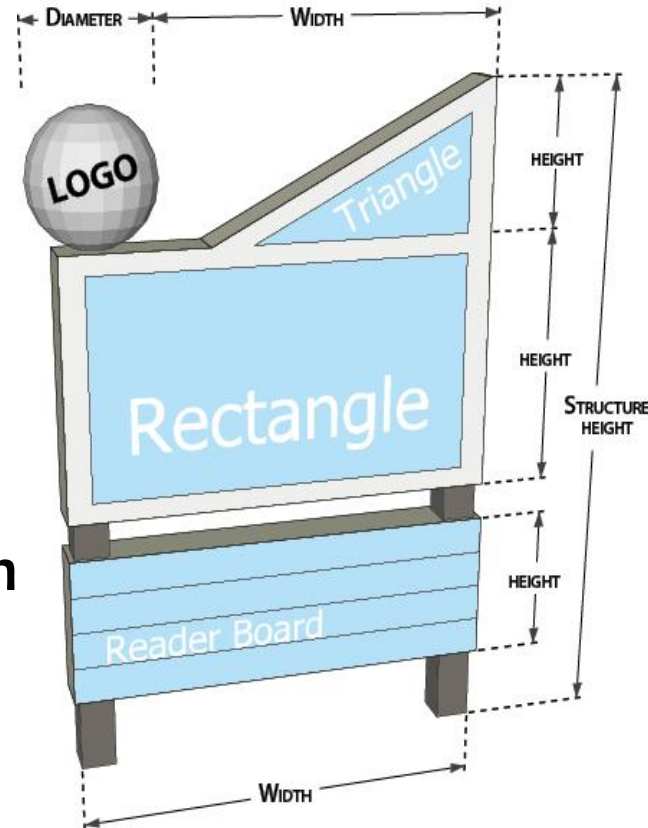


# Unified Development Code

## Signs

How are height and size restrictions applied to signage?

- Sign height is measured from the grade to the highest attached component of the sign.
- Sign size or area is generally measured by the area of the smallest shape or combination of shapes that encompasses the smallest perimeter of the sign's message



# Unified Development Code

## Complete Streets

What does CLV mean by Complete Streets?

- Complete Streets for the City are streets that contribute to a connected transportation system as outlined in the City's General Plan and provide a safe and accessible environment for a variety of transportation modes and users.
- The connectivity standards set forth in the UDC apply to all development projects whether utilizing public streets, private streets or private drives.

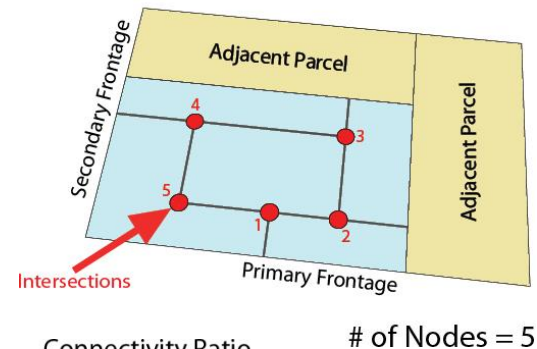
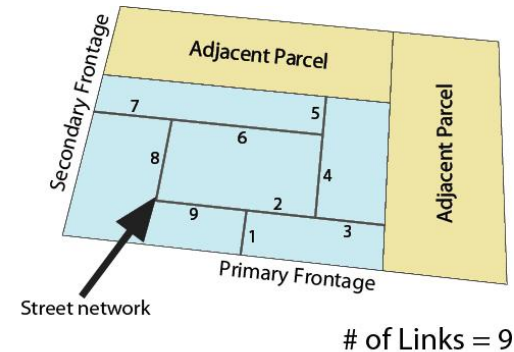


# Unified Development Code

## Complete Streets

### What is Connectivity and how is it measured?

- Connectivity is a measure of how efficiently a transportation network provides access between internal and external destinations. It is measured using a Connectivity Ratio.
- For comparison purposes, a perfect street grid has a Connectivity Ratio over 2.0, while a conventional cul-de-sac subdivision has a Connectivity Ratio of 1.0.



Connectivity Ratio  
Equation = Links/Nodes\*

$$9(\text{Links})/5(\text{Nodes}) = 1.8$$

\*Only Links and Nodes that are internal to the site are used in the connectivity equation.

# Unified Development Code

## Complete Streets

### What is the “Transportation – Land Use Matrix”?

- The Transportation - Land Use Matrix is intended to demonstrate the inter-connectedness of land use and the adjacent transportation network. The matrix identifies each zoning district and indicates the compatibility of the that district with the range of streets detailed in the UDC.

19.04.170

Transportation - Land Use Matrix - Table 1

	120' Parkway Arterial Street	100' Primary Arterial Street	80' Major Collector Street	60' Minor Collector Street
U Undeveloped				
R-E Residential Estates				
R-1 Single Family Residential				
R-MH Mobile/Manufactured Home Residential				
R-CL Single Family Compact Lot				
R-TN Single Family Attached				
R-2 Medium-Low Density Residential				
R-3 Medium Density Residential				
R-4 High Density Residential				
P-O Professional Office				
O Office				
C-1 Limited Commercial				
C-2 General Commercial				
C-M Commercial/Industrial				
M Industrial				

Page 48  
Chapter 19.04



March 2, 2011

City of Las Vegas  
Unified Development Code

19.04.170

Transportation - Land Use Matrix - Table 1

	60' Minor Collector Street (Urban Form)	47' Residential Street	47' Residential Street (Narrow Lot)
U Undeveloped			
R-E Residential Estates			
R-1 Single Family Residential			
R-MH Mobile/Manufactured Home Residential			
R-CL Single Family Compact Lot			
R-TN Single Family Attached			
R-2 Medium-Low Density Residential			
R-3 Medium Density Residential			
R-4 High Density Residential			
P-O Professional Office			
O Office			
C-1 Limited Commercial			
C-2 General Commercial			
C-M Commercial/Industrial			
M Industrial			

**MATRIX KEY**  
Compatible Street - Land Use Combination (No mitigation)

Compatible Street - Land Use Combination (Mitigation may be requested)

Less Compatible Street - Land Use Combination (Mitigation may be required)

City of Las Vegas  
Unified Development Code

March 2, 2011



Page 49  
Chapter 19.04



# Unified Development Code

## Complete Streets

### What do the street sections look like?

19.04.180

#### 120' PARKWAY ARTERIAL STREET

A street or highway which has a minimum right-of-way width of 120 feet and an existing or potential design capacity of three or more travel lanes of traffic in each direction with 10 feet for an amenity zone and sidewalk on each side and divided by a landscaped median.



AMENITY ZONE (see Figures 2 and 3)	
A. Utility & Mechanical Boxes	Above ground utilities shall be sited outside of the right-of-way <sup>1</sup>
B. Street Lights	18 inches from back of curb <sup>2</sup>
C. Fire Hydrants	Shall be placed in the amenity area in accordance with the fire code
D. Tree Placement <sup>3</sup>	Trees shall be placed within the amenity area to provide maximum shade of the sidewalk
E. Tree Spacing	45 feet on center
F. Sidewalk Width	5 feet
G. Off-site Buffer Strip	3 feet
Maintenance	Maintenance of the amenity zone shall be the responsibility of the adjacent property owners

- Footnotes:
1. If permitted within the right-of-way, above ground utilities shall be located in the amenity area.
  2. Street light conduits and permitted underground dry utilities shall be located under the sidewalk.
  3. In addition to any landscaping standards provided in this Title, all planting within the right-of-way must comply with UMC Chapter 13.48.

Page 50  
Chapter 19.04

#### Illustrations & Graphics

19.04.180

19.04.190

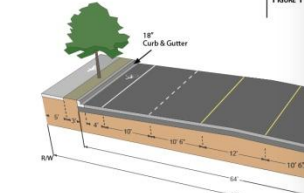
#### Illustrations & Graphics

19.04.190

19.04.200

#### 80' MAJOR COLLECTOR STREET

A street which has a minimum right-of-way width of eighty feet and an existing or potential design capacity of two travel lanes of traffic in each direction with a center turn lane or raised median with left turn pockets.



AMENITY ZONE (see Figures 2 and 3)	
A. Utility & Mechanical Boxes	Above ground utilities shall be sited outside of the right-of-way <sup>1</sup>
B. Street Lights	18 inches from back of curb <sup>2</sup>
C. Fire Hydrants	Shall be placed in the amenity area in accordance with the fire code
D. Tree Placement <sup>3</sup>	Trees shall be placed within amenity area to provide maximum shade of the sidewalk
E. Tree Spacing	40 feet on center
F. Sidewalk Width	5 feet
Maintenance	Maintenance of the amenity zone shall be the responsibility of the adjacent property owners

- Footnotes:
1. If permitted within the right-of-way, above ground utilities shall be located in the amenity area.
  2. Street light conduits and permitted underground dry utilities shall be located under the sidewalk.
  3. In addition to any landscaping standards provided in this Title, all planting within the right-of-way must comply with UMC Chapter 13.48.

Page 52  
Chapter 19.04

#### Illustrations & Graphics

19.04.200

19.04.210

#### Illustrations & Graphics

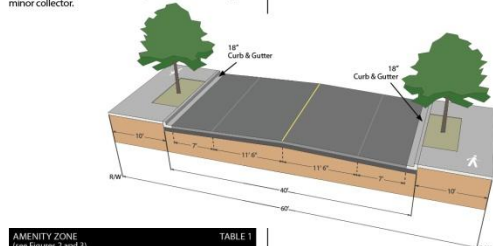
#### Illustrations & Graphics

19.04.210

19.04.220

#### 60' MINOR COLLECTOR STREET (URBAN FORM)

A street with a minimum right-of-way width of sixty feet which collects traffic from the local streets and distributes them to the major collector or arterial system. This street is intended to include on-street parking unlike the typical minor collector.



AMENITY ZONE (see Figures 2 and 3)	
A. Utility & Mechanical Boxes	Above ground utilities shall be sited outside of the right-of-way <sup>1</sup>
B. Street Lights	18 inches from back of curb <sup>2</sup>
C. Fire Hydrants	Shall be placed in the amenity area in accordance with the fire code
D. Tree Well Dimensions/Spacing and Tree Placement <sup>3</sup>	Tree wells shall be 5 feet wide by 10 feet long and spaced so that trees are spaced 25 feet on center.
E. Sidewalk Width	5 feet
Maintenance	Maintenance of the amenity zone shall be the responsibility of the adjacent property owners

- Footnotes:
1. If permitted within the right-of-way, above ground utilities shall be located in the amenity area.
  2. Street light conduits and permitted underground dry utilities shall be located under the sidewalk.
  3. In addition to any landscaping standards provided in this Title, all planting within the right-of-way must comply with UMC Chapter 13.48.

Page 54  
Chapter 19.04

#### Illustrations & Graphics

19.04.220

FIGURE 1 - STREET SECTION/DIMENSIONS

FIGURE 2 - AMENITY ZONE - UTILITY AND PUBLIC SAFETY FEATURES

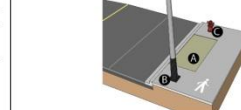
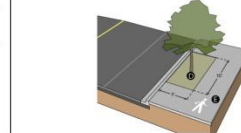


FIGURE 3 - AMENITY ZONE - LANDSCAPING/SIDEWALK

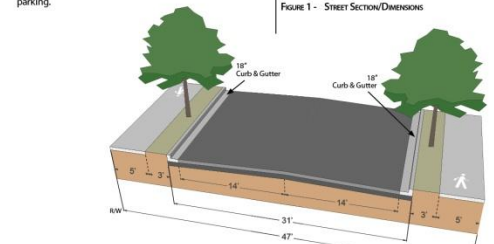


Page 54  
Chapter 19.04

19.04.230

#### 47' RESIDENTIAL STREET

A street with a minimum right-of-way width of forty-seven feet which is designed to carry residential traffic between minor collectors and is designed to accommodate on-street parking.



AMENITY ZONE (see Figures 2 and 3)	
A. Utility & Mechanical Boxes	Above ground utilities shall be sited outside of the right-of-way <sup>1</sup>
B. Street Lights	18 inches from back of curb <sup>2</sup>
C. Fire Hydrants	Shall be placed in the amenity area in accordance with the fire code
D. Tree Placement <sup>3</sup>	Trees shall be placed within amenity area to provide maximum shade of the sidewalk
E. Tree Spacing	25 feet on center
F. Sidewalk Width	5 feet
Maintenance	Maintenance of the amenity zone shall be the responsibility of the adjacent property owners

- Footnotes:
1. If permitted within the right-of-way, above ground utilities shall be located in the amenity area.
  2. Street light conduits and permitted underground dry utilities shall be located under the sidewalk.
  3. In addition to any landscaping standards provided in this Title, all planting within the right-of-way must comply with UMC Chapter 13.48.

Page 55  
Chapter 19.04

#### Illustrations & Graphics

19.04.230

FIGURE 1 - STREET SECTION/DIMENSIONS

FIGURE 2 - AMENITY ZONE - UTILITY AND PUBLIC SAFETY FEATURES

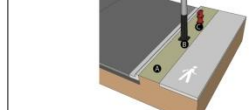


FIGURE 3 - AMENITY ZONE - LANDSCAPING/SIDEWALK



Page 55  
Chapter 19.04

# Unified Development Code

## Questions





# Unified Development Code

## Contact Info

Flinn Fagg, AICP  
Acting Director  
CLV Department of Planning  
333 N. Rancho Drive  
3<sup>rd</sup> Floor  
Las Vegas, NV 89106

702-229-6353

[ffagg@lasvegasnevada.gov](mailto:ffagg@lasvegasnevada.gov)

